

RESIDENTIAL DEVELOPMENT - DETACHED DUAL OCCUPANCY

DA SUBMISSION

17 ILLAWONG CRESCENT, GREENACRE NSW 2190

PROJECT NO. 22459

CANTERBURY-BANKSTOWN COUNCIL  
COMPLIANCE TABLE

Land Zoning: R2 - Low Density Residential  
Site Area: 708.7 m²

| No.     | DRAWING NAME             |
|---------|--------------------------|
| DA_000. | COVER SHEET              |
| DA_100. | SITE PLAN & ANALYSIS     |
| DA_101. | DEMOLITION PLAN          |
| DA_102. | SEDIMENT CONTROL PLAN    |
| DA_103. | SUBDIVISION PLAN         |
| DA_200. | BASEMENT PLAN            |
| DA_201. | GROUND FLOOR PLAN        |
| DA_202. | FIRST FLOOR PLAN         |
| DA_203. | ROOF FLOOR PLAN          |
| DA_300. | ELEVATIONS               |
| DA_301. | ELEVATIONS               |
| DA_302. | STREETSCAPE              |
| DA_400. | SECTION                  |
| DA_600. | SHADOWS - PLAN           |
| DA_700. | FINISHES SCHEDULE        |
| DA_701. | 3D VISUAL                |
| DA_800. | NOTIFICATION PLAN        |
| DA_900. | LANDSCAPE PLAN           |
| DA_901. | LANDSCAPE SPECIFICATIONS |

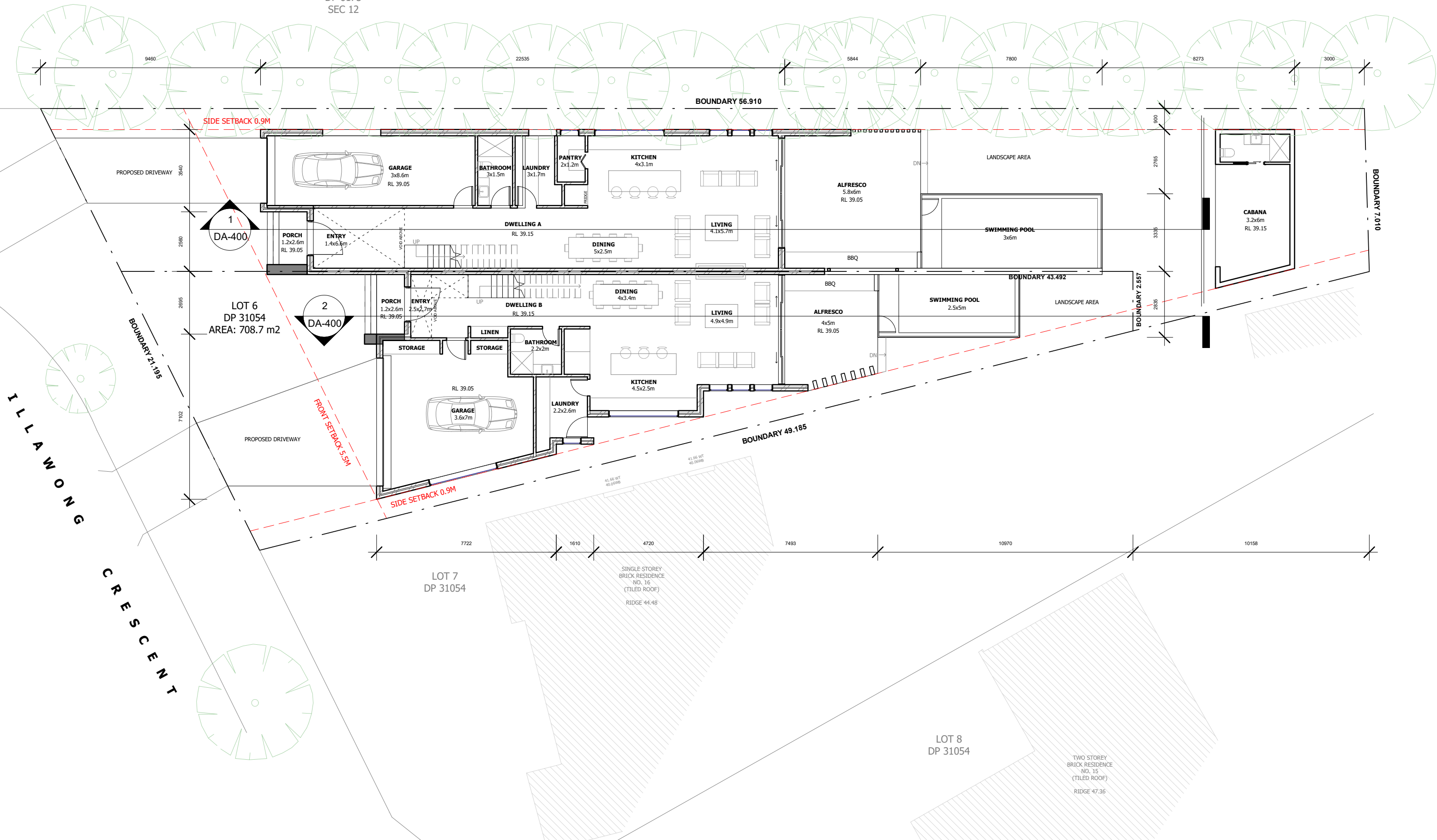
| Compliance Table: Dwelling A |                                                                                                  |                                                                    |          |
|------------------------------|--------------------------------------------------------------------------------------------------|--------------------------------------------------------------------|----------|
| Proposed Site Area: 400 m²   |                                                                                                  |                                                                    |          |
| STANDARD                     | REQUIREMENTS                                                                                     | PROVIDED                                                           | COMPLIES |
| Max GFA (m²):                | 200 m²<br>(0.5:1 of lot 400m²)                                                                   | Ground Floor - 90 m²<br>First Floor - 110 m²<br>Total GFA - 200 m² | YES      |
| Front Setback:               | Ground Floor - 5.5m<br>First Floor - 6.5m                                                        | Ground Floor - 5.5m<br>First Floor - 6.5m                          | YES      |
| Side Setback:                | 0.9m - Less than 7m Wall Height<br>1.5m - Greater than 7m Wall Height                            | GF - 0.9m<br>FF - 0.9m                                             | YES      |
| Maximum Building Height:     | 9m Maximum Building Height.<br>7m Maximum Wall Height.                                           | 7m Wall Height                                                     | YES      |
| Total Minimum Landscape:     | 45% of the lot area between dual occupancy and primary road frontage (23.4m²). Requires 19.35m². | 24 m²                                                              | YES      |
| Private Open Space:          | 80m² P.O.S per Dwelling, with minimum 5m width.                                                  | 104 m²                                                             | YES      |
| Total Car Parking Space:     | At least 1 car parking space per dwelling. With 6m setback from primary road.                    | 2 car parking space                                                | YES      |

| Compliance Table: Dwelling B |                                                                                               |                                                                       |          |
|------------------------------|-----------------------------------------------------------------------------------------------|-----------------------------------------------------------------------|----------|
| Proposed Site Area: 308.7 m² |                                                                                               |                                                                       |          |
| STANDARD                     | REQUIREMENTS                                                                                  | PROVIDED                                                              | COMPLIES |
| Max GFA (m²):                | 154.35 m²<br>(0.5:1 of lot 400m²)                                                             | Ground Floor - 66.5 m²<br>First Floor - 87.5 m²<br>Total GFA - 154 m² | YES      |
| Front Setback:               | Ground Floor - 5.5m<br>First Floor - 6.5m                                                     | Ground Floor - 5.5m<br>First Floor - 6.5m                             | YES      |
| Side Setback:                | 0.9m - Less than 7m Wall Height<br>1.5m - Greater than 7m Wall Height                         | GF - 0.9m<br>FF - 0.9m                                                | YES      |
| Maximum Building Height:     | 9m Maximum Building Height.<br>7m Maximum Wall Height.                                        | 7m Wall Height                                                        | YES      |
| Total Minimum Landscape:     | 45% of the lot area between dual occupancy and primary road frontage (90m²). Requires 40.5m². | 60.7 m²                                                               | YES      |
| Private Open Space:          | 80m² P.O.S per Dwelling, with minimum 5m width.                                               | 80 m²                                                                 | YES      |
| Total Car Parking Space:     | At least 1 car parking space per dwelling. With 6m setback from primary road.                 | 1 car parking space                                                   | YES      |



LOT 62  
DP 6175  
SEC 12

NORTHCOTE PUBLIC PARK



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NOTE

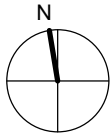
ISSUE DATE PURPOSE OF ISSUE

PROJECT  
17 ILLAWONG CRESCENT,  
GREENACRE NSW 2190

CLIENT  
-

STATUS  
PRELIMINARY

STAGE  
DA



DRAWING NO.  
DA-200

SCALE  
1 : 150

DATE  
12 OCT 2022

ISSUE  
A

JOB NO.  
22459

DRAWING TITLE  
Ground Floor Plan

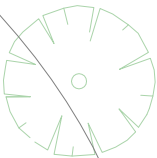
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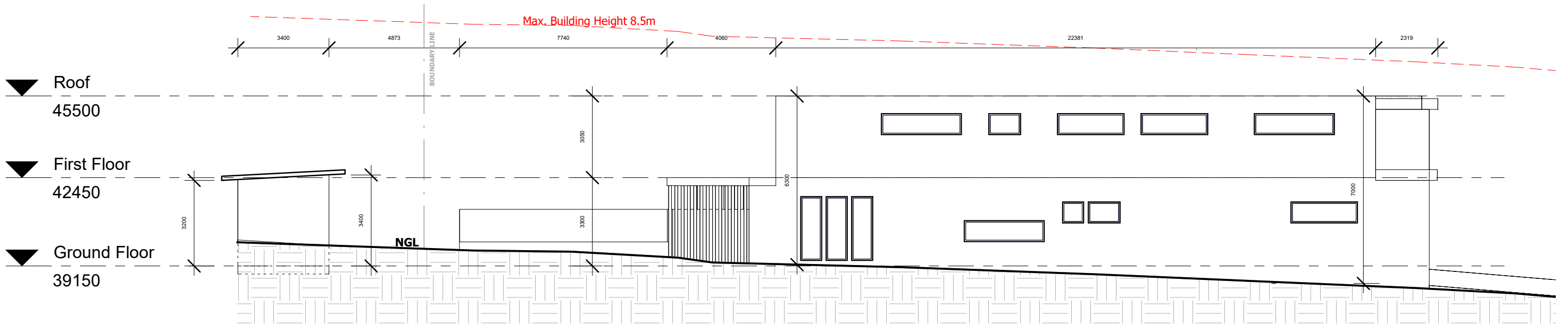
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RZ



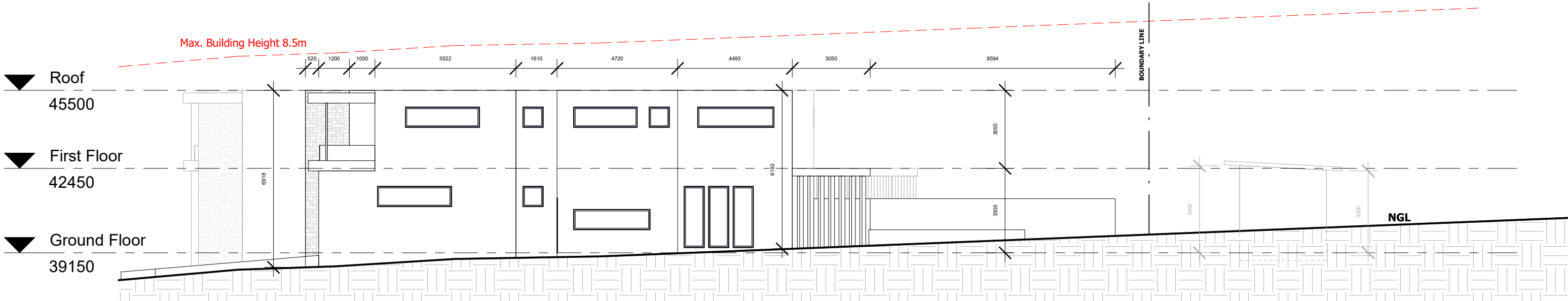
ILLAWONG CRESCENT

BOUNDARY 21.195



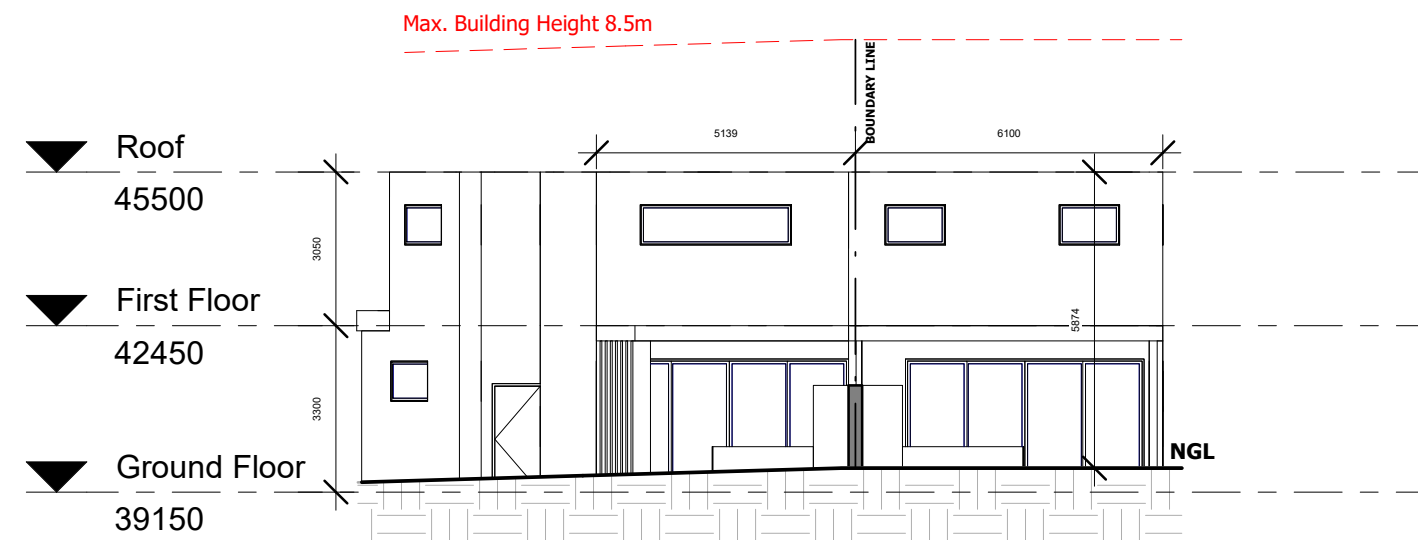


NORTH ELEVATION

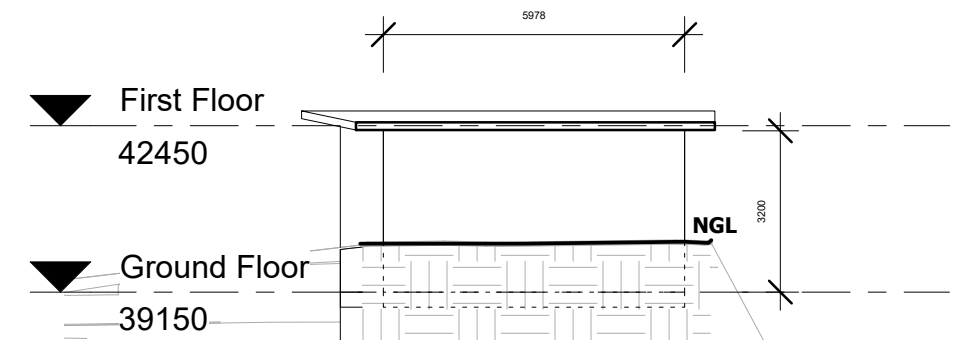


SOUTH ELEVATION

|                                                                                                            |                                                                                                                                                                |                                                                                        |                                       |  |  |                                                        |  |  |                       |                       |  |            |                |  |                             |  |                  |
|------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|---------------------------------------|--|--|--------------------------------------------------------|--|--|-----------------------|-----------------------|--|------------|----------------|--|-----------------------------|--|------------------|
| <div><div>zta</div><div>zta architects</div><div>architecture / urban design / interior design</div></div> | <div>Level 1, 538 King Georges Rd,<br/>Beverly Hills NSW 2209<br/>ph: +61 2 8098 7886 fx: +61 2 8098 7886<br/>e: admin@zta.net.au<br/>ABN 56 164 632 517</div> | <div><div><div>bdad</div><div>ACCREDITED</div><div>BUILDING DESIGNER</div></div></div> | NOTE                                  |  |  | PROJECT<br>17 ILLAWONG CRESCENT,<br>GREENACRE NSW 2190 |  |  | STATUS<br>PRELIMINARY | DRAWING NO.<br>DA-300 |  | ISSUE<br>A | DRAWN BY<br>EB |  |                             |  |                  |
|                                                                                                            |                                                                                                                                                                |                                                                                        | ISSUE      DATE      PURPOSE OF ISSUE |  |  | CLIENT<br>-                                            |  |  |                       | SCALE<br>1 : 150      |  |            |                |  |                             |  |                  |
|                                                                                                            |                                                                                                                                                                |                                                                                        |                                       |  |  |                                                        |  |  |                       | DATE<br>12 OCT 2022   |  |            |                |  |                             |  |                  |
|                                                                                                            |                                                                                                                                                                |                                                                                        |                                       |  |  |                                                        |  |  | STAGE<br>DA           |                       |  |            |                |  | JOB NO.<br>22459            |  | CHECKED BY<br>RZ |
|                                                                                                            |                                                                                                                                                                |                                                                                        |                                       |  |  |                                                        |  |  |                       |                       |  |            |                |  | DRAWING TITLE<br>Elevations |  |                  |



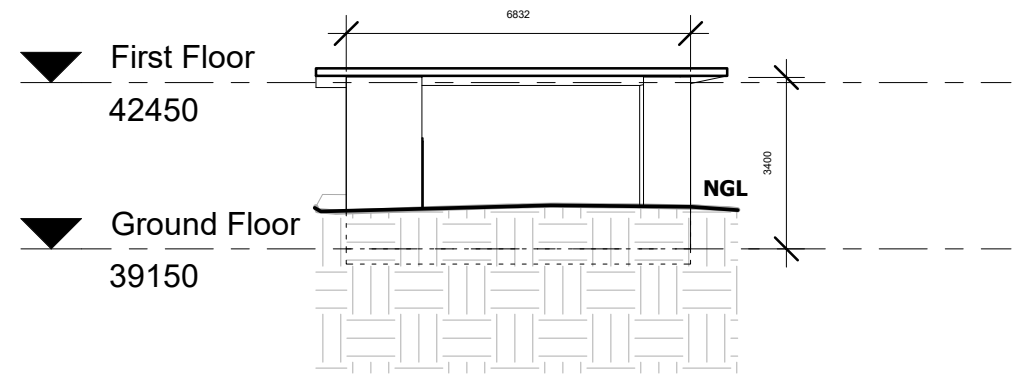
**EAST ELEVATION**



**EAST ELEVATION - CABANA**



**WEST ELEVATION**



**WEST ELEVATION - CABANA**



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PROJECT  
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GREENACRE NSW 2190

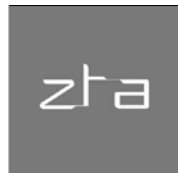
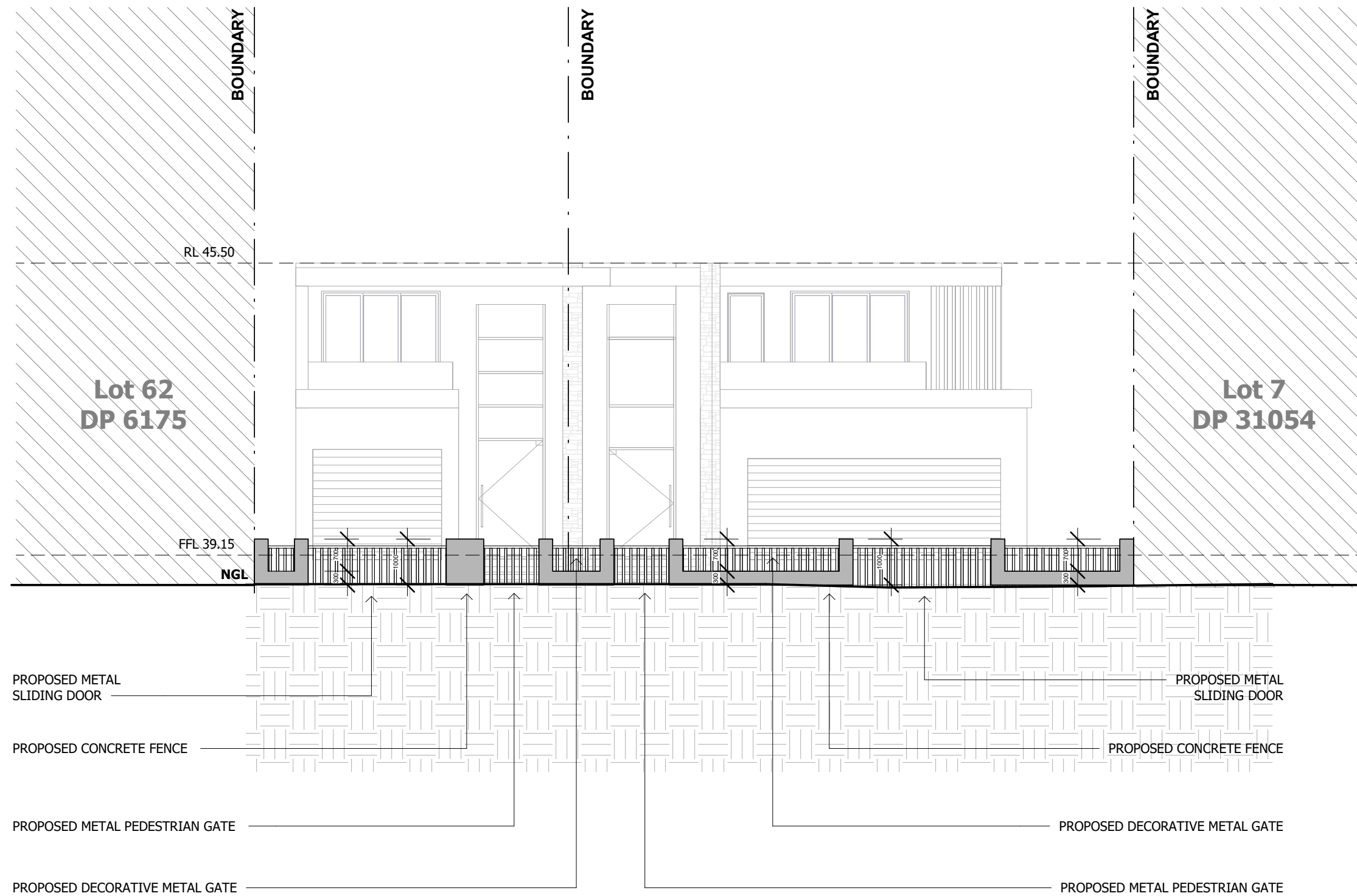
CLIENT  
-

STATUS  
**PRELIMINARY**  
  
STAGE  
**DA**

DRAWING NO.  
**DA-301**  
  
SCALE  
1 : 150  
  
DATE  
**12 OCT 2022**

ISSUE  
**A**  
  
JOB NO.  
**22459**  
  
DRAWING TITLE  
**Elevations**  
  
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**17 ILLAWONG CRESCENT,  
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STATUS  
**PRELIMINARY**

STAGE  
**DA**

DRAWING NO.  
**DA-302**

SCALE  
1 : 100

DATE  
**12 OCT 2022**

ISSUE  
**A**

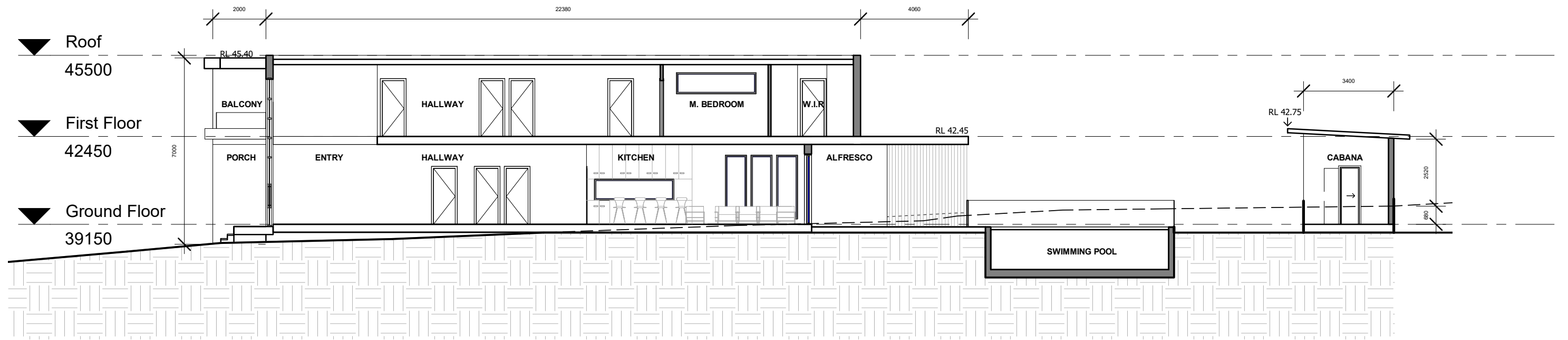
JOB NO.  
**22459**

DRAWING TITLE  
**Streetscape**

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**EB**

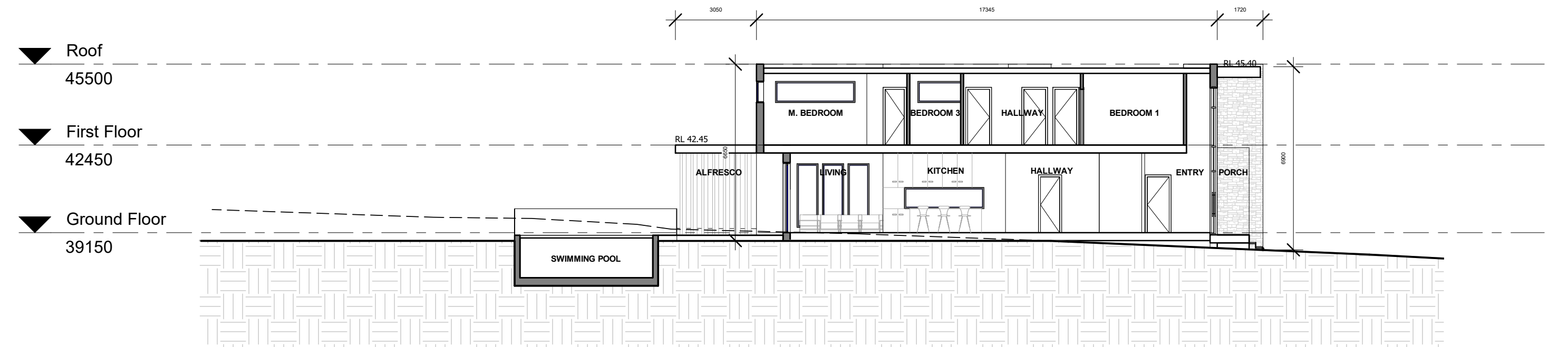
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## Section 1

1 : 150



## Section 2

1 : 150



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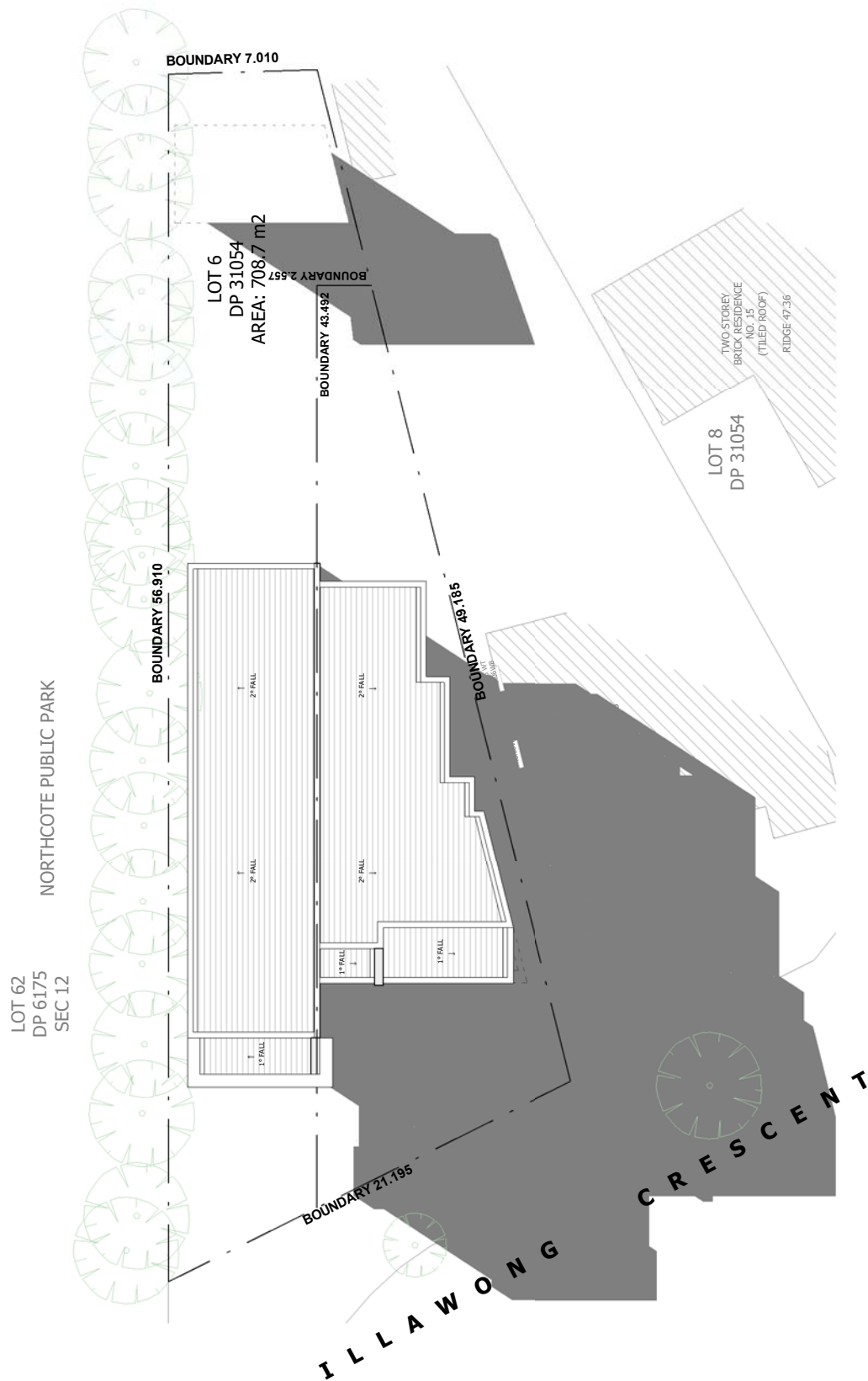
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17 ILLAWONG CRESCENT,  
GREENACRE NSW 2190

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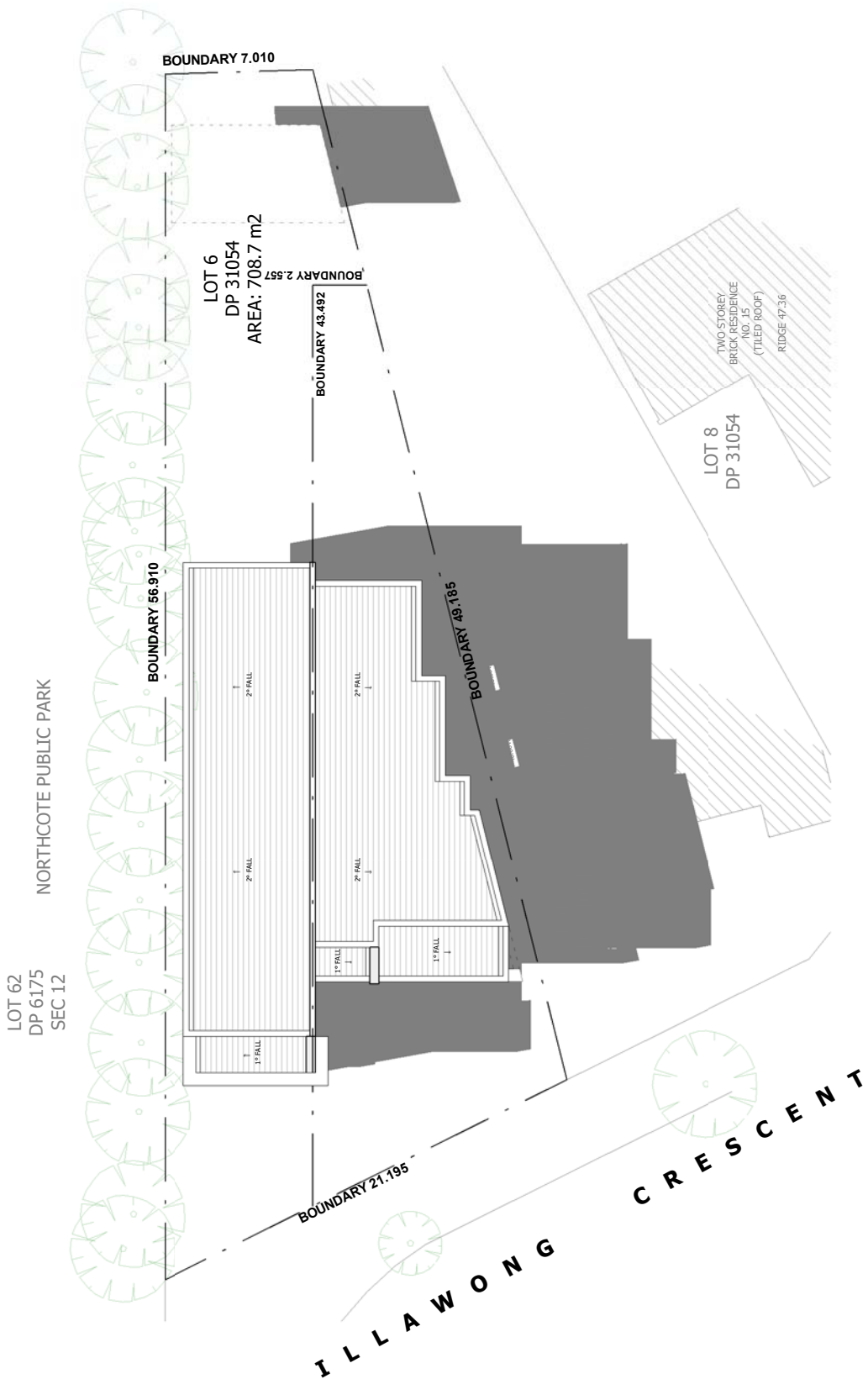
STATUS  
PRELIMINARY  
  
STAGE  
DA

DRAWING NO.  
**DA-400**  
  
SCALE  
1 : 150  
  
DATE  
12 OCT 2022

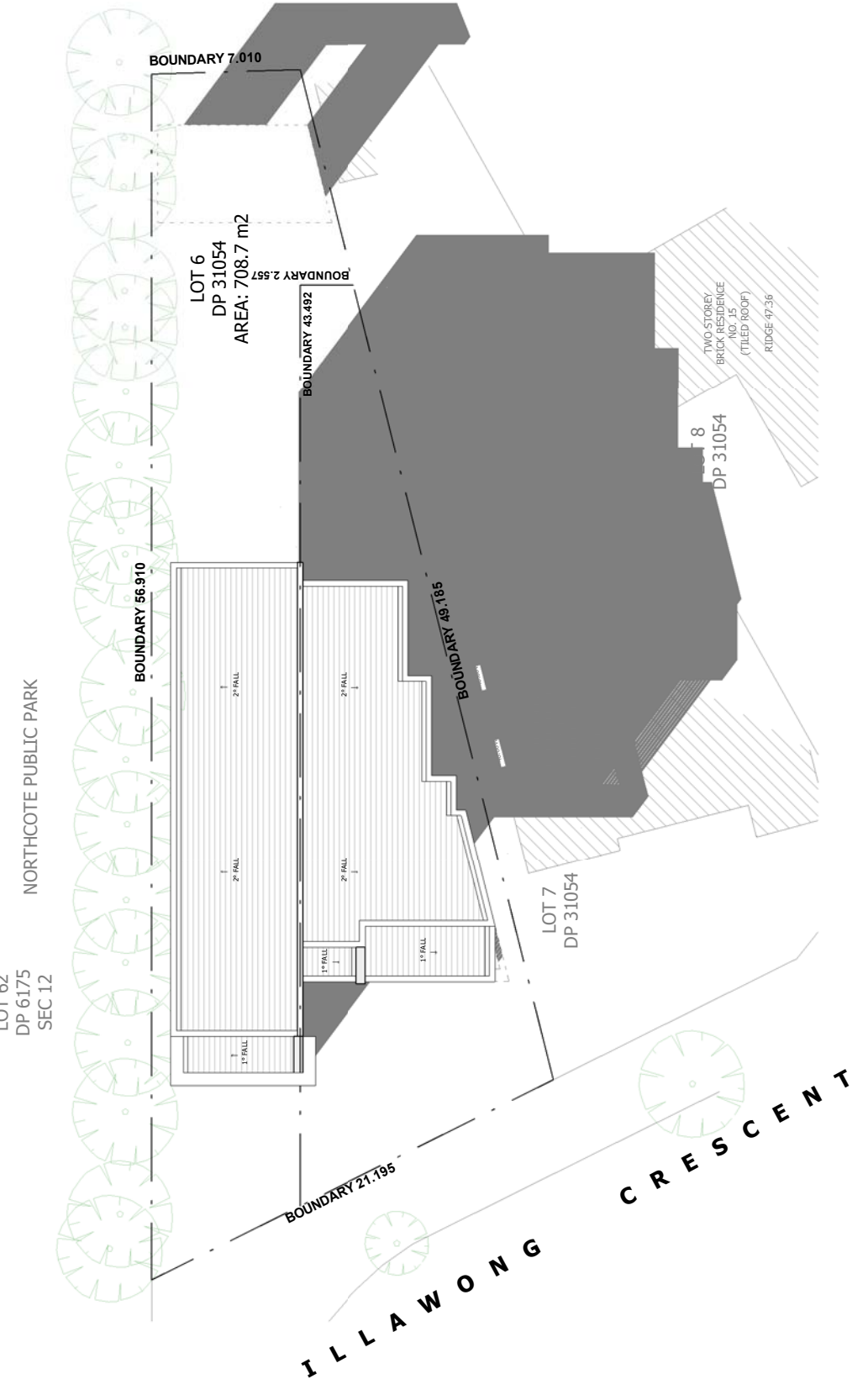
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**A**  
  
JOB NO.  
**22459**  
  
DRAWING TITLE  
Section  
  
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9AM 21 JUNE - SHADOWS



12PM 21 JUNE - SHADOWS



3PM 21 JUNE - SHADOWS



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17 ILLAWONG CRESCENT,  
GREENACRE NSW 2190

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STATUS  
PRELIMINARY

STAGE  
DA



DRAWING NO.  
DA-600

SCALE  
1 : 300

DATE  
12 OCT 2022

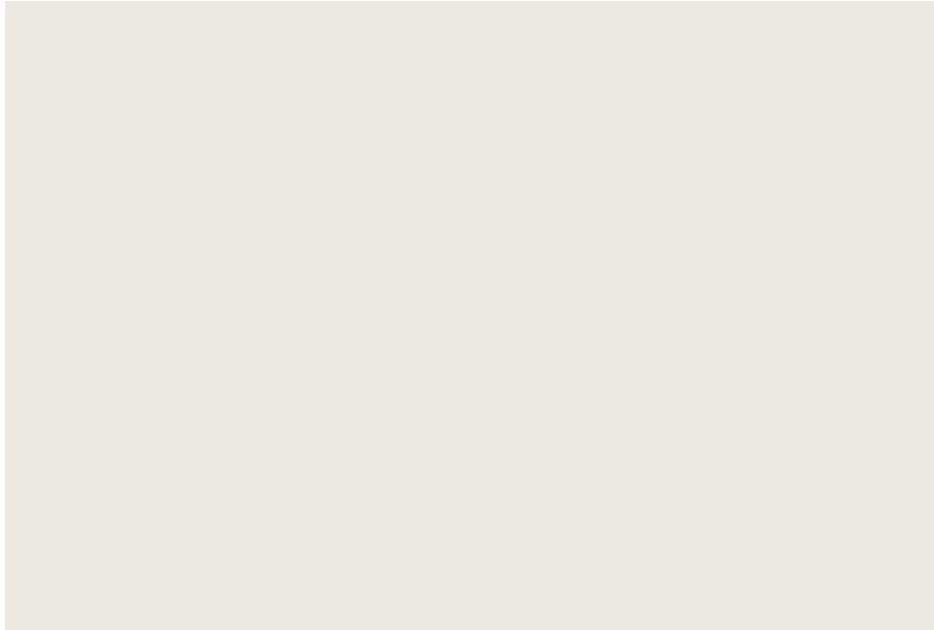
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JOB NO.  
22459

DRAWING TITLE  
Shadows - Plans

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EB

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RZ



**R1**

**WHISPER WHITE DULUX, OR SIMILAR**



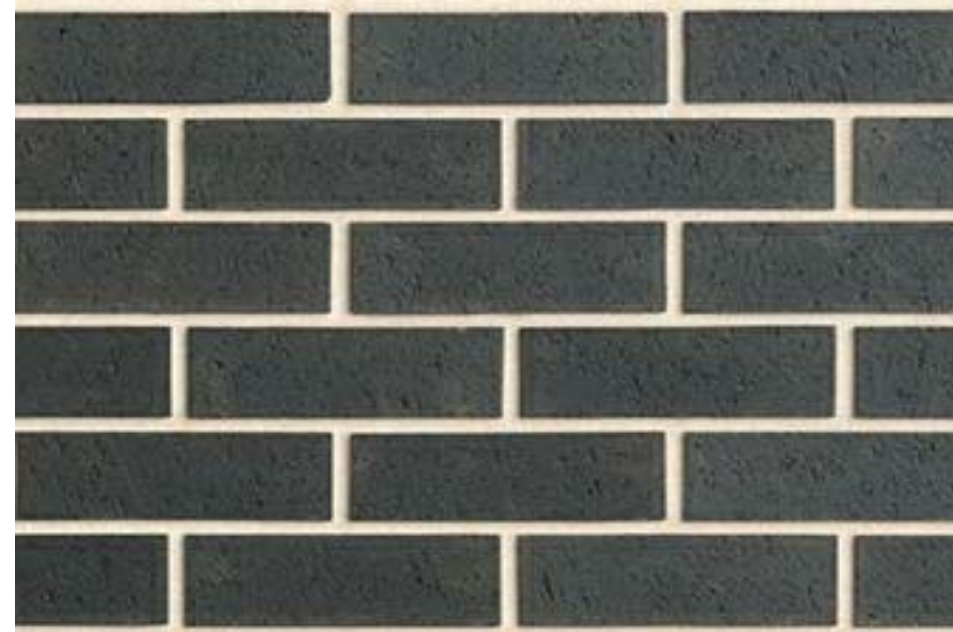
**ST**

**DARK STONE WALL, OR SIMILAR**



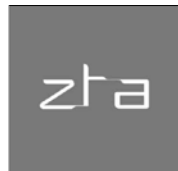
**R2**

**MONUMENT DULUX, OR SIMILAR**



**FB**

**AUSTRAL BRICKS - BLUEGUM, OR SIMILAR**



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ISSUE

DATE

PURPOSE OF ISSUE

PROJECT  
**17 ILLAWONG CRESCENT,  
GREENACRE NSW 2190**

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STATUS  
**PRELIMINARY**

STAGE  
**DA**

DRAWING NO.  
**DA-700**

SCALE

DATE  
**12 OCT 2022**

ISSUE  
**A**

JOB NO.  
**22459**

DRAWING TITLE  
**Finishes Schedule**

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**EB**

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bdaa

ACCREDITED  
BUILDING DESIGNER

NOTE

| ISSUE | DATE | PURPOSE OF ISSUE |
|-------|------|------------------|
|       |      |                  |

PROJECT

17 ILLAWONG CRESCENT,  
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CLIENT

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STATUS

PRELIMINARY

STAGE

DA

DRAWING NO.

DA-701

SCALE

DATE

12 OCT 2022

ISSUE

A

JOB NO.

22459

DRAWING TITLE

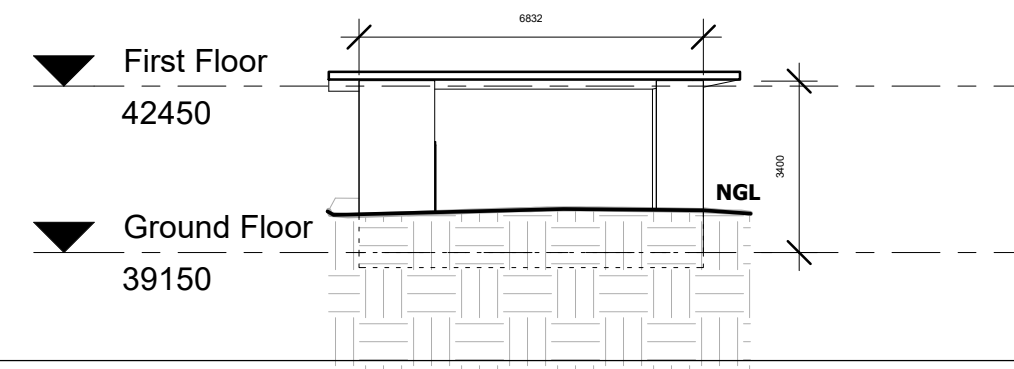
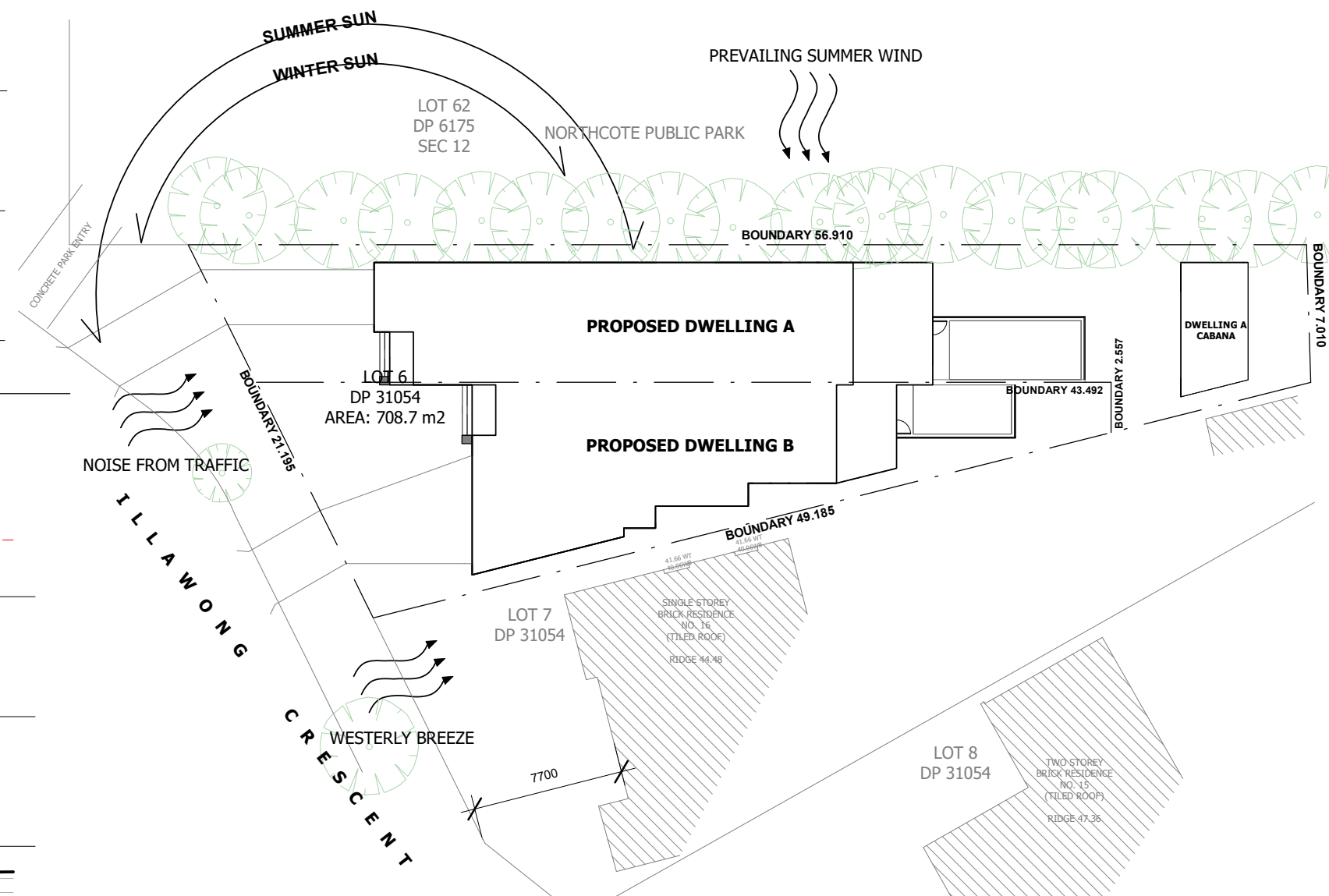
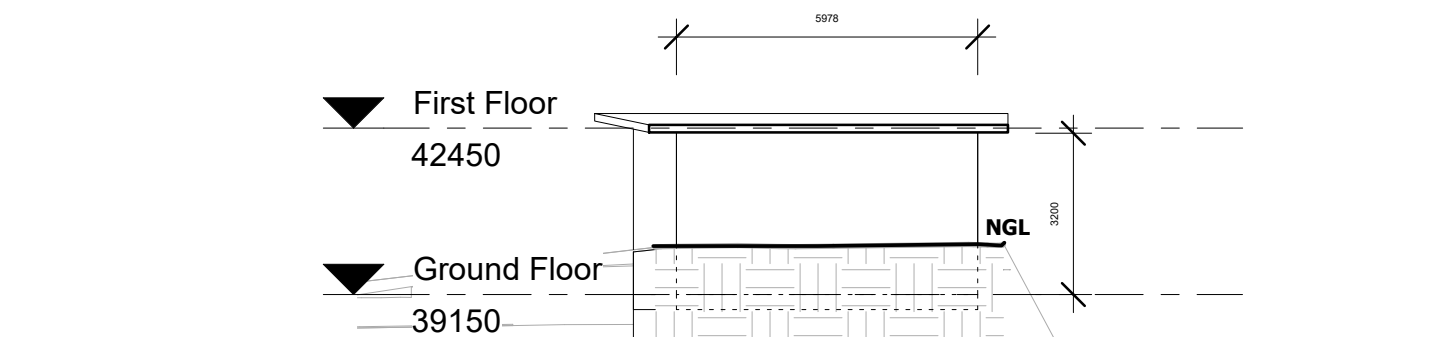
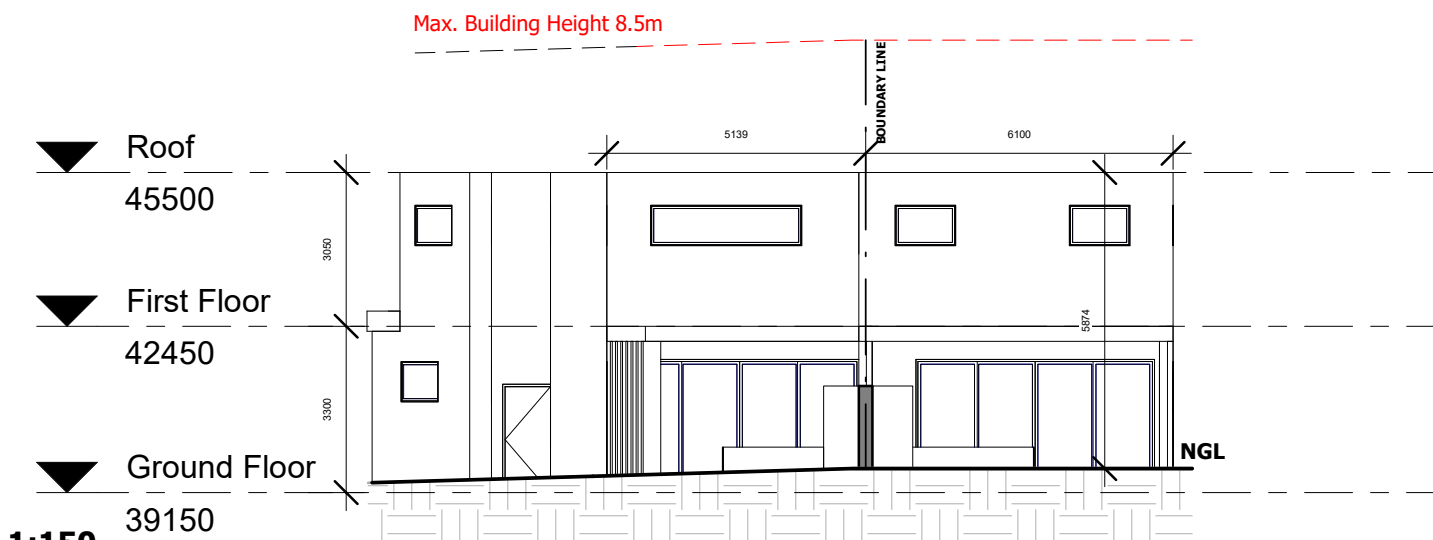
3D Visual

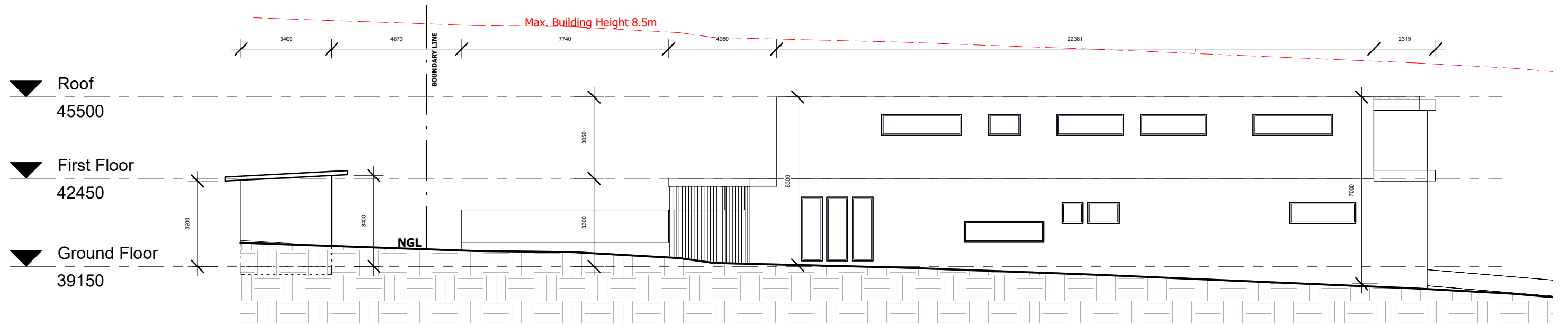
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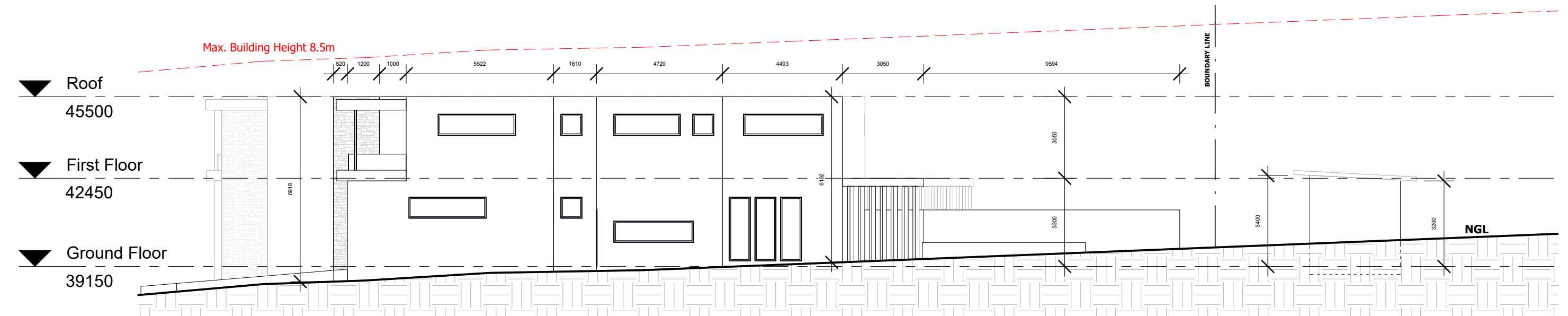
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**1:150**

**NORTH ELEVATION**



**1:150**

**SOUTH ELEVATION**



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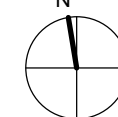
ISSUE DATE PURPOSE OF ISSUE

PROJECT  
**17 ILLAWONG CRESCENT,  
GREENACRE NSW 2190**

CLIENT  
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STATUS  
**PRELIMINARY**

STAGE  
**DA**



DRAWING NO.  
**DA-801**

SCALE  
1 : 150

DATE  
**12 OCT 2022**

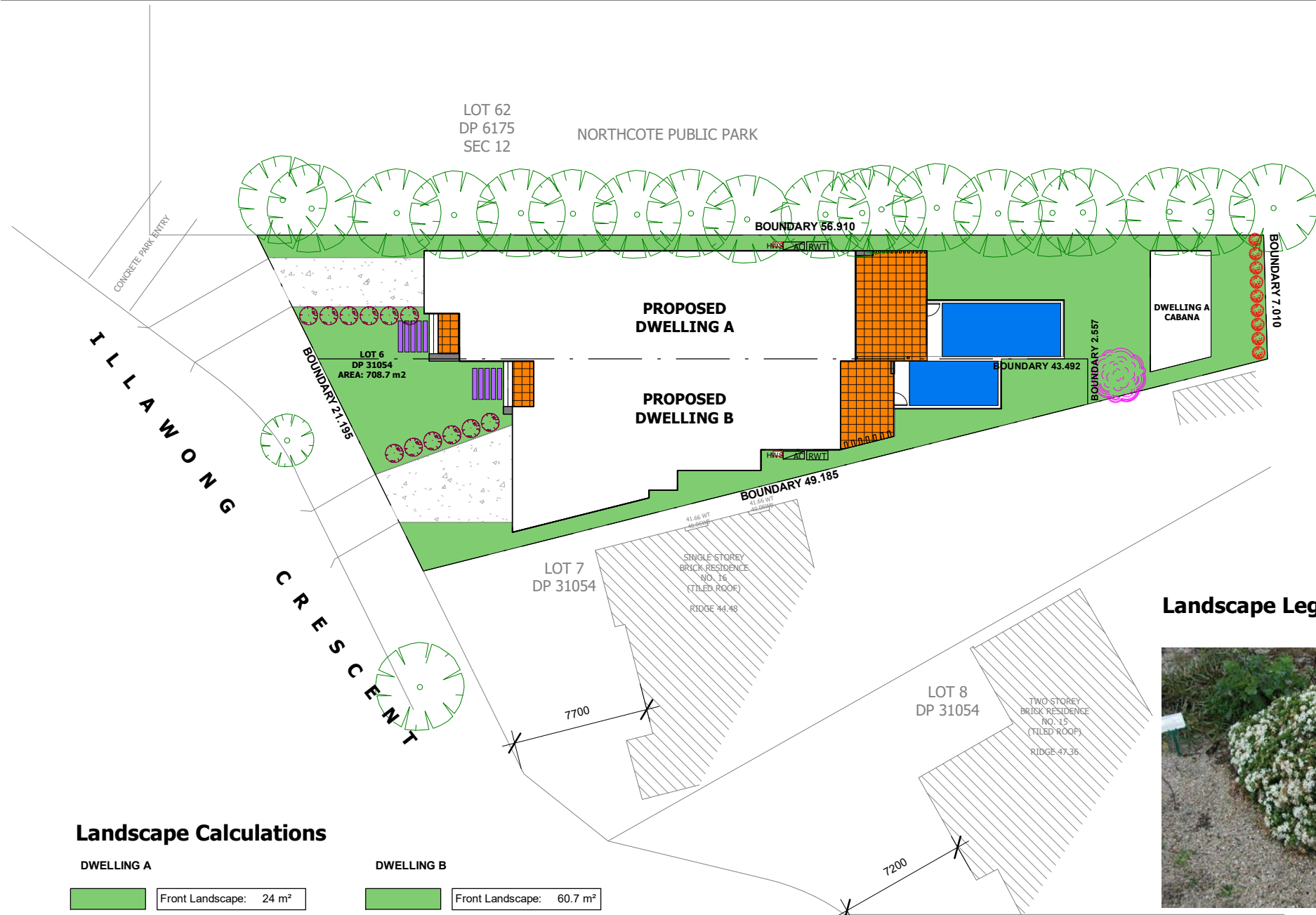
ISSUE  
**A**

JOB NO.  
**22459**

DRAWING TITLE  
**Notification Plan**

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Landscape Calculations

| DWELLING A                  |                        | DWELLING B                    |                          |
|-----------------------------|------------------------|-------------------------------|--------------------------|
| <div></div>                 | Front Landscape: 24 m² | <div></div>                   | Front Landscape: 60.7 m² |
| <div></div>                 | Rear Landscape: 124 m² | <div></div>                   | Rear Landscape: 51.1 m²  |
| Total Area:<br>Area: 148 m² |                        | Total Area:<br>Area: 111.8 m² |                          |

Legend

|                |                                                   |                                                                                                                                            |
|----------------|---------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------|
| <div>HWS</div> | Hot water system; gas<br>Built in - Instantaneous | <div></div> Landscaped Area Deep Soil<br><div></div> Tiled Area<br><div></div> Driveway<br><div></div> Stepping Stones<br><div></div> Pool |
| <div>BS</div>  | Bin storage                                       |                                                                                                                                            |
| <div>AC</div>  | Air conditioning system<br>outdoor unit           |                                                                                                                                            |
| <div>RWT</div> | 3000L Rain water tank<br>Refer to BAXIS Report    |                                                                                                                                            |
| <div></div>    | Clothes Line                                      |                                                                                                                                            |

Plant Schedule

| ID Trees    | QTY | Common Name         | Botanical Name          | Scheduled Size                 | Stacking |
|-------------|-----|---------------------|-------------------------|--------------------------------|----------|
| <div></div> | 9   | Murraya             | Murraya Paniculata      | 1-2.5m Height / 0.8-1.2m Width | Yes      |
| <div></div> | 12  | Slender Rice Flower | Pimelea Linifolia       | 1.5m Height                    | Yes      |
| <div></div> | 1   | Paper Bark Tea Tree | Melaleuca Quinquenervia | 8m Height                      | Yes      |

Landscape Legend



Pimelea Linifolia  
Slender Rice Flower



Murraya Paniculata  
Orange Blossom



Water Gum  
Tristaniopsis Laurina

### Planting Mix:

- 60% Soil mix (75% coarse sand and 25% blacksoil)
- 10% Mushroom compost
- 10% Composted sawdust
- 10% Pine bark fines
- 10% Composted manure

**Mulch:**

Mulch shall mean hardwood (25mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 25mm grade shall be rejected / removed from the site. Graded hardwood mulch to be supplied by Australian Native Landscapes Pty Ltd Phone (02) 9450 1444, or approved equivalent.

**Plant Material:**

All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and not root bound.

Plants are available from **Andreasens Green** wholesale nursery, contact Darren (02) 8777 4713, email [darren@andreasensgreen.com.au](mailto:darren@andreasensgreen.com.au) or approved equivalent.

**Turfed areas:**

All new turfed areas are to be selected weed free Soft Leaf Buffalo. Turf shall be laid neatly butted with staggered joins, flush with adjacent surfaces and have even running falls to all drainage points. All new turfed area shall have a minimum 150mm depth of weed free top soil, placed and levelled prior to turfing.

## PREPARATION AND HARDWORKS

## Excavating for Spot Planting

To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

## Staking

Use durable hardwood, straight, free from knots or twists, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the root system.

- 75 Litre trees in 2 x 38x38x1800mm Hardwood Stake with double Nylon tie

TIES: Provide a 50mm wide Nylon webbing tie per stake, fixed securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the plant.

### Loose Nepean River Pebble

MATERIAL: Nepean river pebble gravel to be of uniform size or graded material in the size 20mm grade to nominal 75mm thickness as available from Australian Native Landscapes. Ph: (02) 9450 1444.

## Timber Edge

MATERIAL: Timber edging shall consist of:

Edging: 100 x 50mm hardwood

Pegs: 50 x 50 x 400mm hardwood.

Fastenings: to be 75x3.75mm diam. galvanised nails

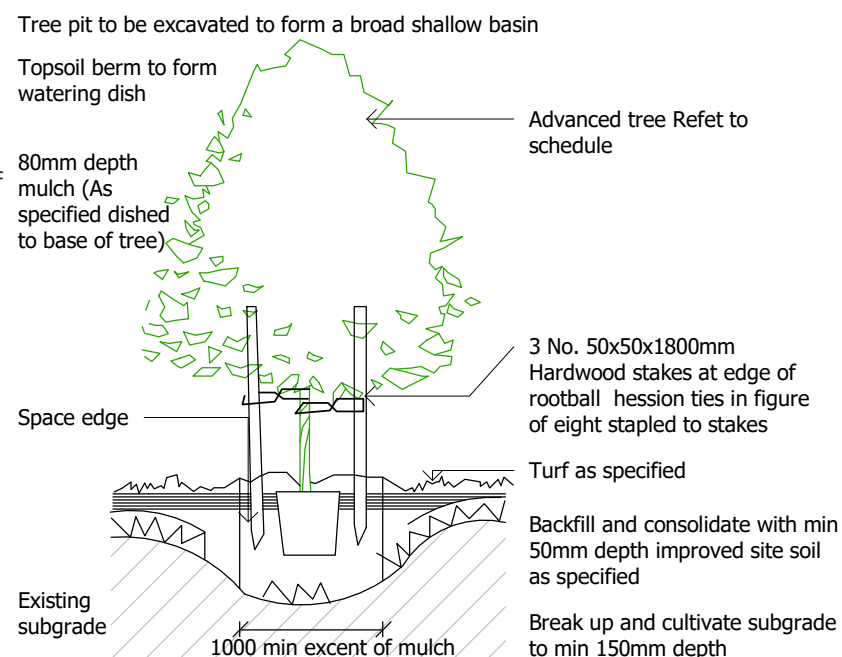
INSTALLATION: Setout alignment of timber edges on site for approval of Superintendent.

Excavate to approved alignment and place edge band within trench to confirm peg locations. Install pegs and affix timber edge in accordance with details. All timber edging to finish flush with adjoining turf.

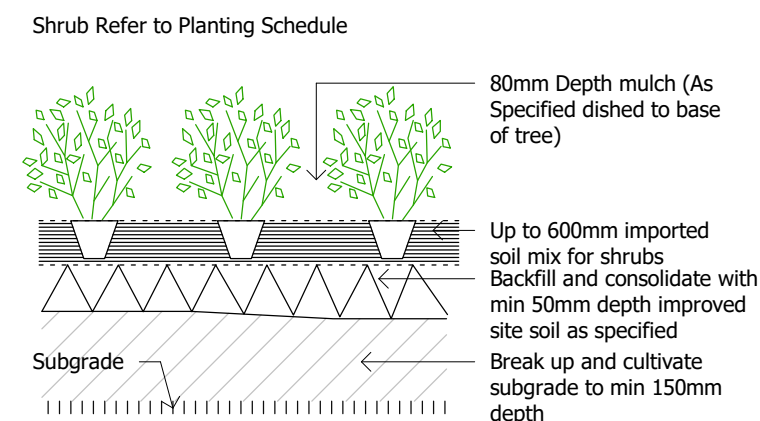
## MAINTENANCE / PLANT ESTABLISHMENT

- Landscape Contractors to provide 26 weeks for maintenance / plant establishment period. Carry out recurrent works of a maintenance nature including, but not limited to, watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivating, pruning, hedge clipping, top dressing, and keeping the site tidy.

- All finished levels are to be verified by Contractor on site.
- All landscape works be in strict accordance with Council's landscape code and guidelines - This plan to be used in conjunction with all other submitted architectural, hydraulics and engineering drawing where applicable.



## Typical Edging, Turf & Planting Detail



### Typical Shrub Planting Detail

|                                                                                                                                                                       |                                                                                                                                                                                                     |      |       |      |                  |                                                        |                       |                       |                                 |                  |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|-------|------|------------------|--------------------------------------------------------|-----------------------|-----------------------|---------------------------------|------------------|
| <div><div><div><div>Landscape Design</div><div>Urban Design</div></div></div></div> | <div><div>Address:</div><div>Level 1, 538 King Georges Rd, Beverly Hills NSW 2209</div><div>Phone: +61 2 8098 7886</div><div>Fax: +61 2 8098 7886</div><div>Email: admin@muskdesign.net</div></div> | NOTE | ISSUE | DATE | PURPOSE OF ISSUE | PROJECT<br>17 ILLAWONG CRESCENT,<br>GREENACRE NSW 2190 | STATUS<br>PRELIMINARY | DRAWING NO.<br>DA-901 | ISSUE<br>A                      | DRAWN BY<br>MA   |
|                                                                                                                                                                       |                                                                                                                                                                                                     |      |       |      |                  | CLIENT<br>-                                            | STAGE<br>DA           | SCALE<br>As indicated | JOB NO.<br>22459                | CHECKED BY<br>RZ |
|                                                                                                                                                                       |                                                                                                                                                                                                     |      |       |      |                  |                                                        |                       | DATE<br>12 OCT 2022   | DRAWING TITLE<br>Landscape Plan |                  |